



1 Post Office Yard, Sedbergh

Cobble Country

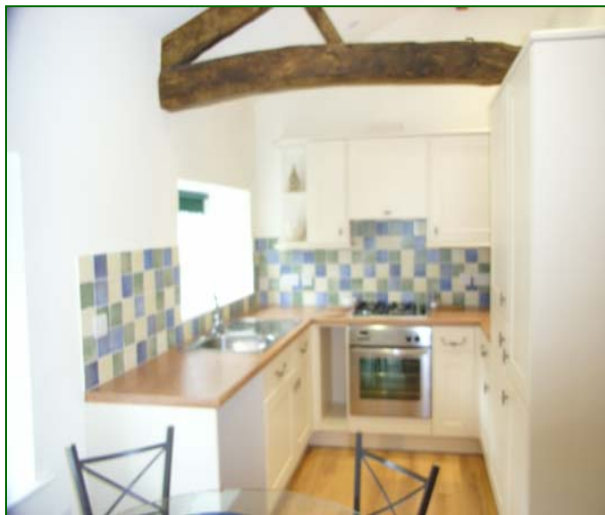
1 Post Office Yard, Sedbergh, Cumbria, LA10 5BH

An immaculate, first floor apartment providing bright and spacious accommodation. The property has been recently refurbished to a very high standard however retains aspects of its character with exposed original timber beams contrasted with modern fixtures and fittings. The open plan lounge, dining and kitchen area is a striking room with high, open vaulted ceilings with stunning exposed beams. The modern fitted kitchen comprises of attractive cream units and complimentary work surfaces and tiling with a feature exposed original trust to the ceiling. Now benefiting from gas central heating, full double-glazing and off road parking, this property offers contemporary living with a touch of character.

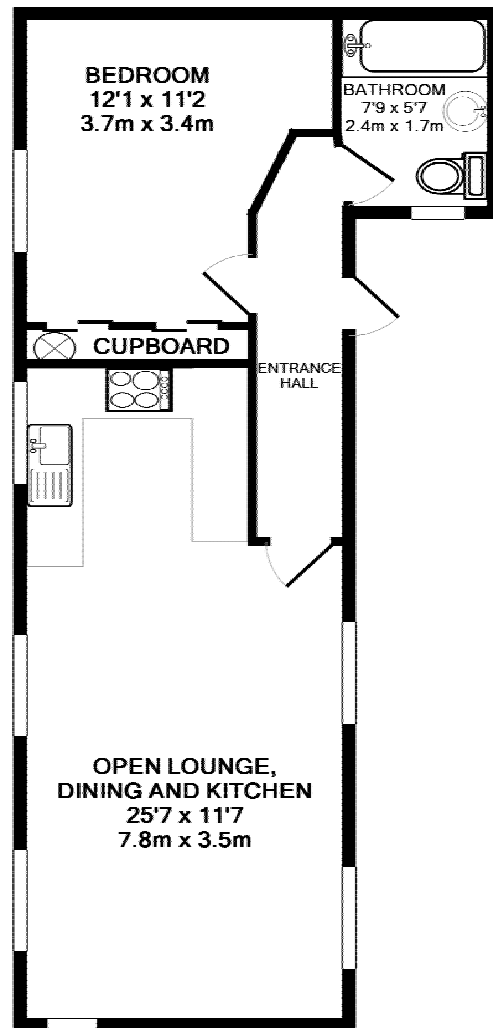
Conveniently situated in Sedbergh Town centre, all local amenities including shops, a post office, cafes, pubs, restaurants and schools are within easy walking distance.

This is an ideal opportunity for the first time buyer or as a base in the Dales as it provides flexible, low maintenance accommodation. Viewing is essential to appreciate the quality on offer.

Asking Price £125,000



Floor Plan



TOTAL APPROX. FLOOR AREA 45.9 SQ.M. (494 SQ.FT.)

Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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The Accommodation comprises:

Entrance to the property is via an external staircase leading to the first floor level timber with glazed panel front door.

Entrance Hall (3.7m x 0.9m maximum)

Light, spacious hall area with double panel radiator and access doors to all principle rooms. Complimentary laminate wood effect flooring

Open Plan Lounge Diner and Kitchen (7.8m x 3.5m narrowing to 2.48m in Kitchen)

Glazed panel door leads from the hallway to the lounge/dining area. An open vaulted ceiling with exposed original and replica truss and beams. Two double panel radiators with thermostatic controls. Dual aspect double-glazed sash style windows. Laminate wood effect flooring continued from hallway.

Kitchen

Open plan from the lounge/dining area. Comprising of a range of wall and base mounted cupboard units with integral: fridge freezer, built in electric oven, four ring hob with overhead extractor hood. Stainless steel sink and drainer, complimentary tiled splashbacks. Sash style double glazed window. Exposed original beams.

Bedroom (3.7m x 3.4m)

Spacious double with large double glazed sash style window. Double panel radiator with thermostatic control. Fitted wardrobes to one wall providing ample storage and hanging space, also housing the combination boiler. Feature exposed beam.

Bathroom (2.4m x 1.7m)

Comprising of a modern white three piece suite with chrome fittings, pedestal wash hand basin, low level W.C with push button flush, low level bath with over bath electric show. Shaver point and extractor fan. Double glazed sash style window with distorted glass. Attractive slate flooring.

SERVICES

Mains water, drainage, gas and electric are all connected.

TENURE

We are advised by the vendor that the property is Lease Hold.

COUNCIL TAX BAND

We are advised that the property is in Band B.

DIRECTIONS

The Property is situated behind the Post Office on Main Street. Vehicular access via Howgill Lane, taking the first right after The Dalesman Pub Car park.

VIEWINGS

Viewings are strictly by arrangement with the sole agent.

Cobble Country Property

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FREE VALUATION

In order to assist you in the possible purchase or rental of this property, we can offer, without obligation and free of charge, experienced and professional help on the valuation and / or opportunities for your own home. We can advise you on options that may be suitable for the current market as well as in its present use. As you are aware, your home is at risk if you do not keep up the repayments on a mortgage or any other loan secured on it.

DISCLAIMER

The use of photographs for this publication are for your information only, it should not to be assumed that any fixtures fittings or contents seen within the photographs are included in the sale.

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